

STORMWATER NOTES

DURING THE RAINY SEASON FROM OCTOBER 1ST TO APRIL 30TH THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED WITHIN 48 HOURS OF A PREDICTED RAIN.

125% OF ALL NEEDED BMP MATERIALS SHALL BE STORED ON-SITE YEAR-ROUND TO ALLOW FULL DEPLOYMENT AND INSTALLATION WITHIN 48 HOURS OF A PREDICTED RAIN.

THE PROPERTY OWNER SHALL COMPLY WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT ON-SITE EROSION AND TO PREVENT DISCHARGES OF POLLUTANTS FROM LEAVING THE SITE.

MAINTENANCE OF BMPs IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS.

IF INSTALLED BMPs FAIL, IT IS THE PROPERTY OWNERS RESPONSIBILITY TO REPAIR OR REPLACE THE FAILED BMP WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO.

EROSION CONTROL BMPs USED FOR SLOPE STABILIZATION SHALL BE INSTALLED AS SOON AS THE FINISHED SLOPES ARE COMPLETE.

BMP LEGEND

- PDS 659** BROW DITCH
- PDS 659** BERM
- DIRECTION OF LOT DRAINAGE

MATERIALS & WASTE MANAGEMENT BMPs:

- WM-1** MATERIAL DELIVERY & STORAGE
- WM-4** SPILL PREVENTION AND CONTROL
- WM-8** CONCRETE WASTE MANAGEMENT
- WM-5** SOLID WASTE MANAGEMENT
- WM-9** SANITARY WASTE MANAGEMENT
- WM-6** HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs:

- SS-2** PRESERVATION OF EXISTING VEGETATION
- SS-3** BONDED OR STABILIZED FIBER MATRIX (WINTER)
- SS-4** HYDROSEEDING (SUMMER)
- SS-6** STRAW OR WOOD MULCH
- SS-7** PHYSICAL STABILIZATION (WINTER)
- SS-10** ENERGY DISSIPATOR
- SC-1** SILT FENCE
- SC-2** SEDIMENT / DESILTING BASIN
- SC-5** FIBER ROLLS
- SC-6** GRAVEL OR SAND BAGS
- SC-7** STREET SWEEPING AND VACUUMING
- SC-10** STORM DRAIN INLET PROTECTION
- NS-2** DEWATERING FILTRATION
- TC-1** STABILIZED CONSTRUCTION ENTRANCE
- TC-2** CONSTRUCTION ROAD STABILIZATION
- TC-3** ENTRANCE / EXIT TIRE WASH

- SD-B** DIRECT RUNOFF TO PERVIOUS AREAS
- SD-C** INSTALL GREEN ROOF
- SD-E** INSTALL RAIN BARRELS
- SD-G** CONSERVE NATURAL FEATURES
- SD-H** PROVIDE BUFFERS AROUND WATER BODIES
- SD-I** CONSTRUCT SURFACES FROM PERMEABLE MATERIALS
- SD-K** SUSTAINABLE LANDSCAPING

BASELINE BMPs FOR POLLUTANT-GENERATING SOURCES

- SC-A** OVERHEAD COVERING
- SC-B** SEPARATION OF FLOWS FROM ADJACENT AREAS
- SC-C** WIND PROTECTION
- SC-D** SANITARY SEWER
- SC-E** CONTAINMENT SYSTEM

POTENTIAL RUNOFF POLLUTANTS:

- A** TRASH & REFUSE STORAGE
- B** MATERIALS & EQUIPMENT STORAGE
- C** LOADING & UNLOADING
- D** FUELING
- E** MAINTENANCE & REPAIR
- F** VEHICLE & EQUIPMENT CLEANING
- G** OTHER

SITE PARKING REQUIRED

BUILDING 'A'
OFFICES: 2,855 SF / 250 11.4 SPACES
WAREHOUSE: 1,815 SF / 1,000 12 SPACES
TOTAL: 4,670 SF 23.4 SPACES

BUILDING 'B'
OFFICES: 244 SF / 250 1 SPACES
AUTO SERVICE: 1,416 SF / 333 6.8 SPACES
TOTAL: 1,660 SF 7.8 SPACES

BUILDING 'C'
WAREHOUSE: 4,400 SF / 1,000 4.4 SPACES
TOTAL: 4,400 SF 4.4 SPACES

REQUIRED PARKING SPACES: 26 SPACES
PROVIDED PARKING SPACES: 21 SPACES

ACCESSIBLE PARKING (1 VAN ACCESSIBLE):
REQUIRED SPACES (1 PER 25 SPACES): 2 SPACES
PROVIDED SPACES: 2 SPACES

ELECTRIC VEHICLE CHARGING PARKING:
REQUIRED SPACES: 3 SPACES
PROVIDED SPACES: 3 SPACES

REQUIRED BICYCLE PARKING RACK FOR 3 SPACES

SITE NOTES

- 1 ACCESSIBLE PATH TO MAIN ENTRY (SLOPE < 1:20 WALK)
- 2 TRUNCATED DOME WARNING STRIP
- 3 PRIMARY ENTRANCE MEETS CURRENT TITLE 24 ACCESSIBILITY PROVISIONS
- 4 VAN ACCESSIBLE PARKING STALL PER DETAIL 1 SHEET A0.2
- 5 INTERNATIONAL ACCESSIBLE PARKING PAVEMENT SYMBOL PER SEC 11094.B.8
- 6 ACCESSIBLE PARKING LOADING ZONE THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH LOADING AND UNLOADING ACCESSIBLE AISLE. THIS NOTICE SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 12 INCHES HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS.
- 7 NEW TRASH AND RECYCLING AREA, MIN 50% RESERVED FOR RECYCLING. SEE DETAIL 142 SHEET A1.2
- 8 NEW REMOTE ELECTRIC METER
- 9 NEW FIRE RISER
- 10 NEW EXTERIOR DOWN LIGHTS (FULLY SHIELDED)
- 11 NEW RETAINING WALL PER COUNTY STANDARD SEE SHEET A1.2 FOR DETAILS
- 12 [E] ENTRY GATE (NOT INCLUDED)
- 13 [E] KNOX BOX (NOT INCLUDED)
- 14 NEW TREE - PISTACHE CHINENSIS
- 15 NEW FREESTANDING LATTICE TRELLIS WITH IVY
- 16 "FUTURE" ELECTRIC VEHICLE CHARGING STATION SEE DETAIL 1, SHEET A0.2

SIGNAGE NOTE

ALL NEW SIGNAGE TO BE UNDER A SEPARATE PERMIT AND WILL BE SUBJECT TO COUNTY OF SAN DIEGO SIGN ORDINANCE

CONSTRUCTED IMPERVIOUS SURFACE AREA TABLE			
SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf) / EXISTING AREA (sf)
1	[N] BUILDING C	PER PLAN	4,400 sf / 0 sf
2	[N] CONCRETE	PER PLAN	225 sf / 0 sf
3	[N] ASPHALT PARKING	PER PLAN	370 sf / 0 sf
4	[E] BUILDING A	PER PLAN	0 sf / 4,800 sf
5	[E] BUILDING B	PER PLAN	0 sf / 2,160 sf
6	[E] PORCH & PATIO	PER PLAN	0 sf / 794 sf
7	[E] CONCRETE	PER PLAN	0 sf / 16,994 sf
8	[E] ASPHALT	PER PLAN	0 sf / 12,276 sf
9	-	PER PLAN	0 sf / 0 sf
		TOTAL =	4,995 sf / 37,024 sf

CONSTRUCTED PERVIOUS SURFACE AREA TABLE			
SITE ID	PERVIOUS ITEM	DIMENSIONS	AREA (sf) / NOTES
-	-	-	-

LAND DISTURBANCE

ESTIMATED AMOUNT OF DISTURBED ACREAGE: 0.28 ACRES
IF EQUAL TO OR GREATER THAN 1 ACRE, YOU MUST ALSO PROVIDE A WMD NUMBER FROM THE SHRCB.
WMD# N/A

ACCESS:

ACCESS TO ALL STRUCTURES IS REQUIRED PURSUANT TO THE CALIFORNIA FIRE CODE AND MUST BE IMPROVED IN ACCORDANCE WITH THE SAN DIEGO COUNTY PRIVATE ROAD STANDARDS, A DRIVEWAY IS REQUIRED AND MUST BE 16' IMPROVED WIDTH. IMPROVEMENT STANDARDS INCLUDE:

- SURFACE TO BE ASPHALT OR CONCRETE
- MAXIMUM GRADE OF 20%, GRADES GREATER THAN 15% REQUIRE CONCRETE SURFACE WITH BAKE FINISH.
- MAXIMUM ANGLE OF DEPARTURE OR APPROACH OF 12% OR 7'
- MINIMUM INSIDE TURNING RADIUS OF 20 FEET
- MINIMUM VERTICAL CLEARANCE OF 13'6"
- BRIDGES MUST SUPPORT 50,000 LB. IMPOSED LOAD.
- TURN-AROUNDS FOR ROADS/DRIVEWAYS GREATER THAN 150' TO BE IN ACCORDANCE WITH DEPARTMENT TURN-AROUND DIAGRAM.
- TURN-OUTS FOR DRIVEWAYS GREATER THAN 150' TO BE IN ACCORDANCE WITH DEPARTMENT TURN-AROUND DIAGRAM.
- INSTALLED GATES TO BE IN ACCORDANCE WITH NORTH COUNTY FIRE PROTECTION DISTRICT ELECTRIC GATES POLICY.

ADDRESS NUMBERS:

APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY WHEN APPROACHING FROM EITHER DIRECTION. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL MEET THE FOLLOWING MINIMUM SIZE STANDARDS: 4" HIGH WITH A 1/2" STROKE FOR RESIDENTIAL BUILDINGS, 6" HIGH WITH A 1/2" STROKE FOR COMMERCIAL AND MULTI-RESIDENTIAL BUILDINGS AND 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS.

BUILDING LOCATIONS:

ALL PROPOSED BUILDINGS, STRUCTURES, ADDITIONS, MODIFICATIONS TO BUILDINGS/STRUCTURE MUST COMPLY WITH THE APPROVED LOCATION, AS SHOWN ON THE COUNTY APPROVED PLOT PLAN. AT THE DISCRETION OF THE COUNTY, THE PROPERTY OWNER MAY BE REQUIRED TO PROVIDE PROOF OF CURRENT PLACEMENT OF EACH STRUCTURE ON THE PARCEL. THIS MAY INCLUDE A STAMPED AND SIGNED SETBACK CERTIFICATE PREPARED BY A CALIFORNIA LICENSED SURVEYOR OR CIVIL ENGINEER.

DEFERRED SUBMITTALS:

- FIRE SPRINKLERS
- SOLAR PHOTO VOLTAIC

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

FOUNDATION:

THE INSPECTOR WILL RECHECK FOR EXPANSIVE SOIL AND/OR GRADING REQUIREMENTS AT FIRST FOUNDATION INSPECTION.

SURFACE WATER SHALL DRAIN AWAY FROM BUILDING. 5% MIN SLOPE WITHIN THE FIRST 10 FEET. (2% FOR IMPERVIOUS SURFACES)

HOLD DOWN ANCHORS SHALL BE TIED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.

ALLOWABLE AREA ANALYSIS

OPEN YARDS, 3 SIDE	MIN YARD WIDTH: 35 FT	AREA INCREASE: UNLIMITED
OCCUPANCY GROUP		5-1
BASIC AREA SOFT (CBC TABLE 506.2)		36,000
AREA INCREASE FOR OPEN YARDS (CBC 506.3)		4,500
AREA INCREASE FOR SPRINKLERS		0
AREA INCREASE FOR MULTI-STORY		0
MAXIMUM BUILDING AREA SOFT		40,500
ACTUAL BUILDING AREA SOFT		4,400
MAXIMUM STORIES (CBC TABLE 504.4)		2
STORIES INCREASE FOR SPRINKLERS (CBC 505.3)		2
ACTUAL NUMBER OF BUILDING STORIES		1
MAXIMUM BUILDING HEIGHT (CBC TABLE 504.3)		60'
ACTUAL BUILDING HEIGHT		20'

STORMWATER

THIS PROJECT IS CLOSE TO TRIGGERING A STORMWATER PDP SIGNMP. BASED ON IMPERVIOUS AREA DECLARATIONS ON THE PLANS, THE TOTAL PROPOSED IMPERVIOUS AREA IS WITHIN 45% OF THE ALLOWABLE AREA TO REMAIN A STORMWATER STANDARD PROJECT. ANY PLAN CHANGES MAY TRIGGER THE NEED FOR A PDP SIGNMP.

METHOD OF CONSTRUCTION:

DESIGNER SHALL NOT HAVE CONTROL OVER AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES IN CONNECTION WITH THE WORK AS THEY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULE OR FAILURE TO CARRY OUT THE DETAILS OF THE PROJECT AS SPECIFIED IN THE DRAWINGS OR PLANS.

CODE COMPLIANCE:

- THIS PROJECT SHALL COMPLY WITH TITLE 24, AND
- 2022 CALIFORNIA RESIDENTIAL CODE AND/OR
- 2022 CALIFORNIA BUILDING CODE AS APPLICABLE
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARD CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO

ELECTRICAL GRID:

THIS PROPERTY IS CONNECTED TO THE ELECTRICAL GRID

LIQUID PROPANE GAS:

THIS BUILDING IS ALL ELECTRIC

LIGHTING ORDINANCE:

THIS PROJECT SHALL COMPLY WITH THE SAN DIEGO COUNTY LIGHTING ORDINANCE

IRRIGATED LANDSCAPE:

AREA OF PROJECT TO BE LANDSCAPED WITH IRRIGATION TO BE LESS THAN 500 SF

SCOPE OF WORK

- NEW 4,400 SF METAL BUILDING FOR A WAREHOUSE.
- COUNTY STANDARD RETAILING WALL

PROJECT DATA

SITE ADDRESS
O'HEARN RD
FALLBROOK, CA 92028

OWNER
YOUNGREN CONSTRUCTION INC
220 O'HEARN RD
FALLBROOK, CA 92028
(760)-128-9814

LEGAL DESCRIPTION

A.P.N.: 104-250-40

OCCUPANCY CLASSIFICATION

5-1 WAREHOUSE

TYPE OF CONSTRUCTION

TYPE V-NR SPRINKLERED

FIRE SPRINKLERS

YES SPRINKLERED (DEFERRED SUBMITTAL)

STORIES AND HEIGHT

NUMBER OF STORIES ABOVE GROUND ALLOWED: 2
ACTUAL NUMBER OF STORIES: 1
BUILDING HEIGHT ALLOWED: 35'-0" MAX
ACTUAL HEIGHT OF BUILDING: 20'-0"

OCCUPANT LOAD

SPACE	SQ.FT.	/ FACTOR	OCCU
WAREHOUSE	4,400	/ 300	15

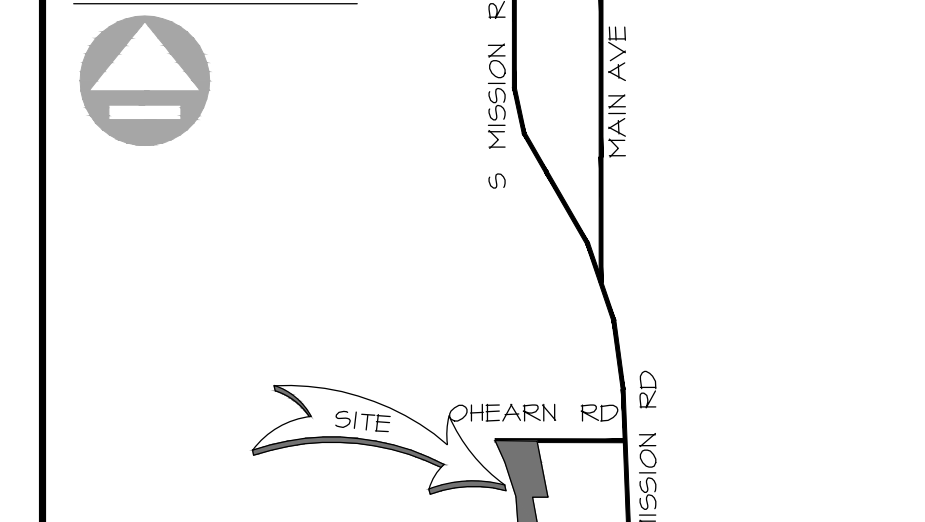
BUILDING SIZE

[E] BUILDING 1 (NOT A PART)	4,800 SF
[E] BUILDING 2 (NOT A PART)	2,160 SF
[E] PORCH & PATIO COVER (NOT A PART)	794 SF
NEW BUILDING 3	4,400 SF
NEW RETAINING WALL	200 LF

SHEET INDEX

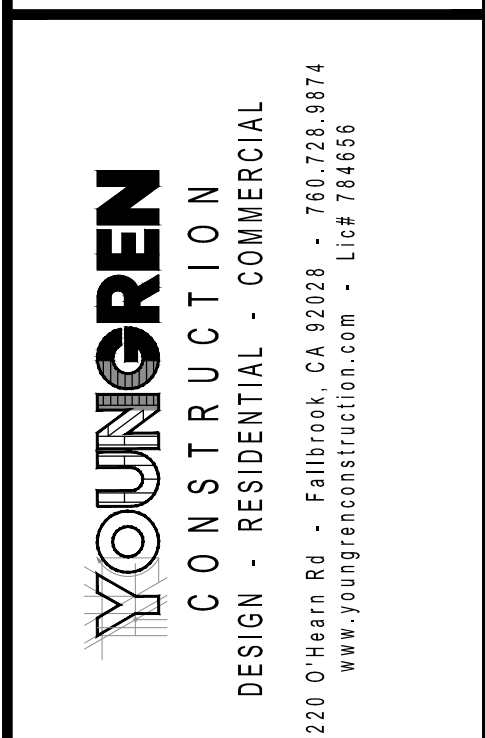
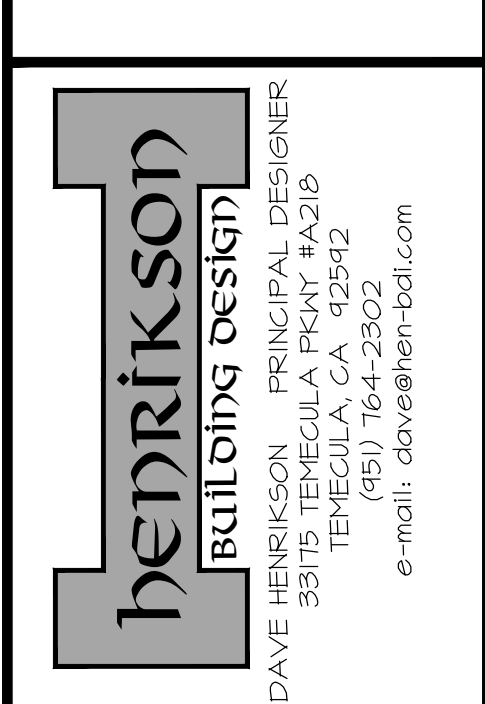
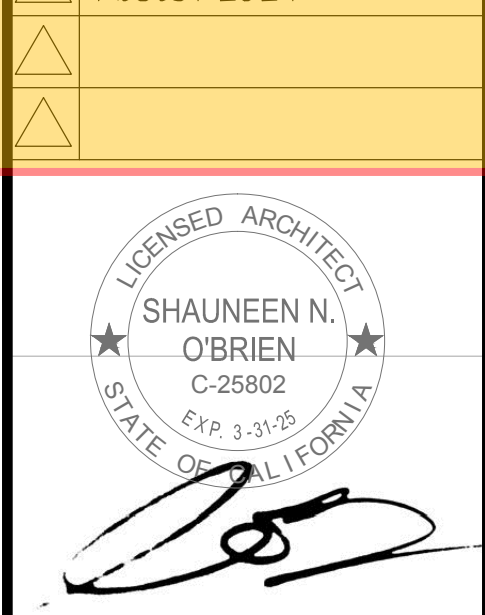
- A01 SITE PLAN / PROJECT INFORMATION
- A02 SITE DETAILS
- A1 FLOOR PLAN, DOOR AND WINDOW SCHEDULE
- A1.2 RETAINING WALL & TRASH AREA
- A1.3 ACCESSIBLE RESTROOM NOTES AND DETAILS
- A1.4 ACCESSIBLE NOTES AND DETAILS
- A21 ELEVATIONS
- A31 RESTROOM FOUNDATION AND FRAMING PLAN
- E1 ELECTRICAL NOTES, PANEL SCHEDULE & SINGLE LINE DIAGRAM
- E1.2 ELECTRICAL POWER PLAN AND LIGHTING PLAN
- P11 ROUGH PLUMBING PLAN
- P1.2 PLUMBING DETAILS
- M1.1 METAL BUILDING PLAN
- M1.2 METAL BUILDING PLAN
- M1.3 METAL BUILDING PLAN
- M1.4 METAL BUILDING PLAN
- M1.5 METAL BUILDING PLAN
- M1.6 METAL BUILDING PLAN
- M1.7 METAL BUILDING PLAN
- M1.8 METAL BUILDING PLAN
- M1.9 METAL BUILDING PLAN
- M1.10 METAL BUILDING PLAN
- M1.11 METAL BUILDING PLAN
- M1.12 METAL BUILDING PLAN
- M1.13 METAL BUILDING PLAN
- S1 METAL BUILDING FOUNDATION PLAN
- T1.1 TITLE 24, PART 6 ENERGY COMPLIANCE DOCUMENTATION
- T1.2 TITLE 24, PART 6 ENERGY COMPLIANCE DOCUMENTATION
- CS-1 COUNTY OF SAN DIEGO MINIMUM SPECIFICATIONS

VICINITY MAP



REVISIONS

CORRECTIONS
AUGUST 2024



JOB NO.: 23-28
DATE: 5/20/2024
DESIGNER: DWH

CHECKED: DWH
SCALE: 1"=30'-0"
SHEET TITLE: SITE PLAN

SHEET NO.: A0.1