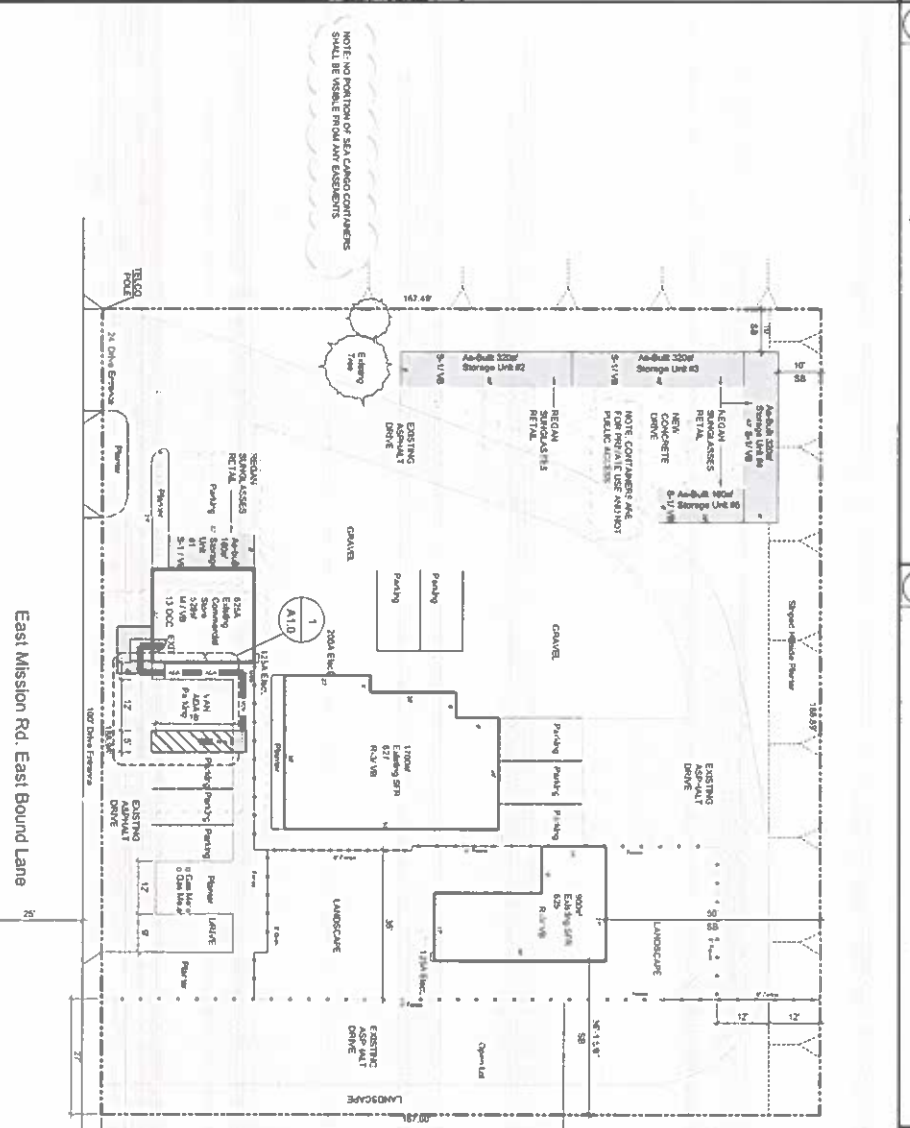
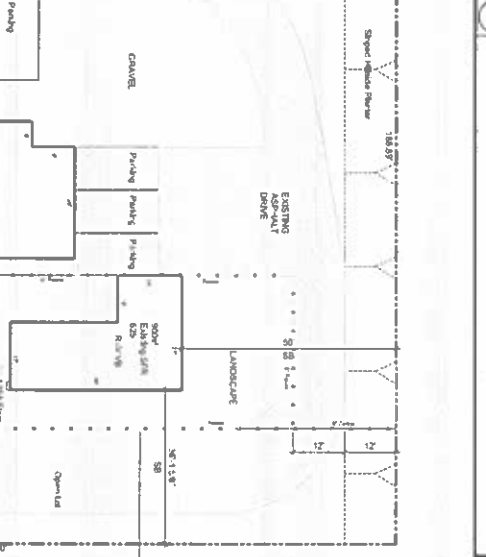
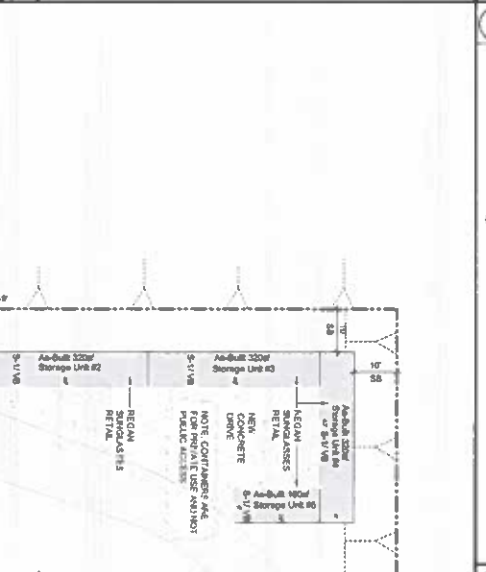
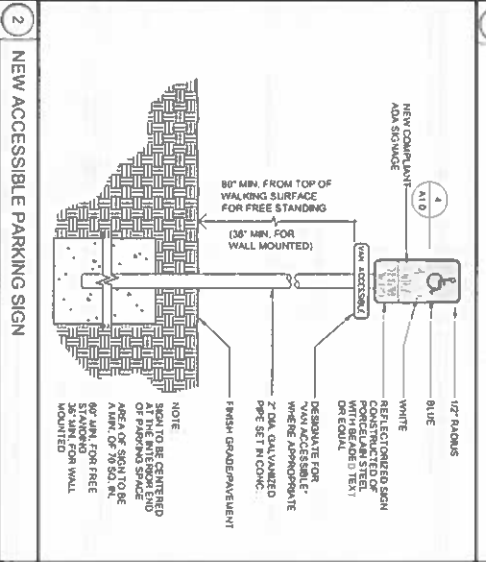
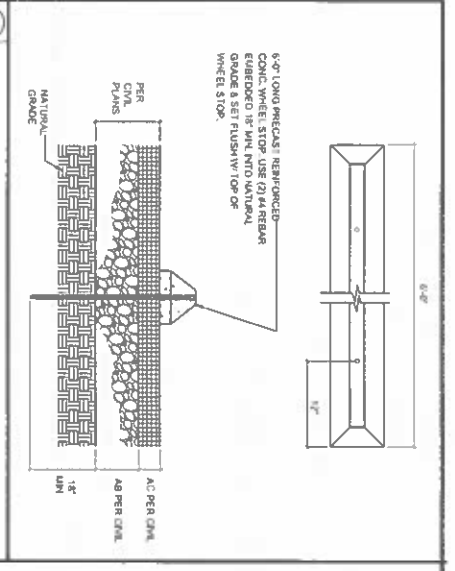
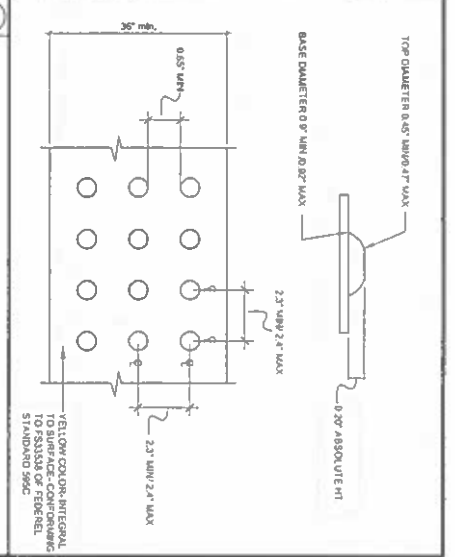
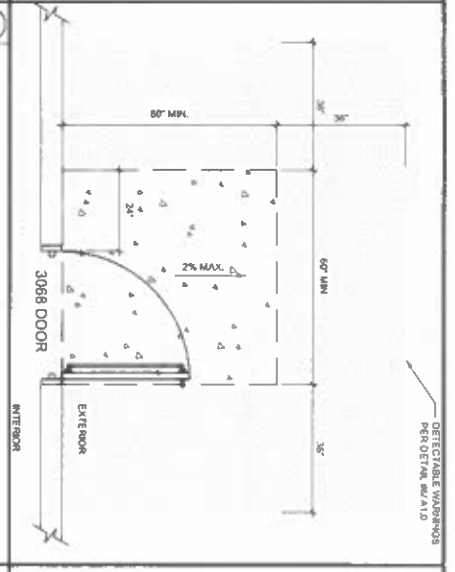
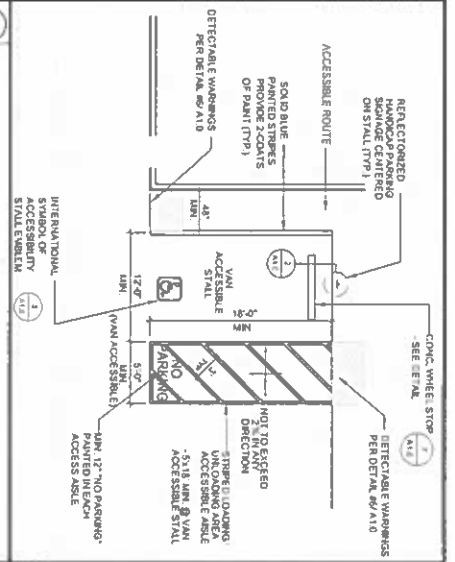


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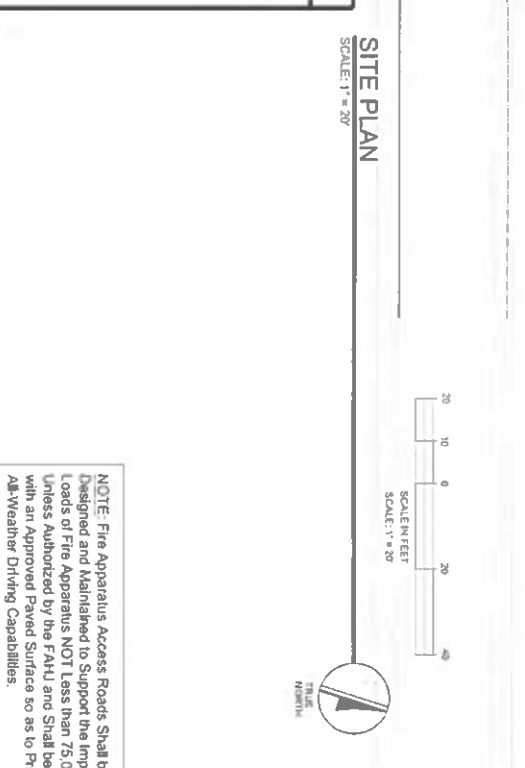


PERVIOUS AREA INFORMATION

SITE ID	PERVIOUS ITEM	AREA (sq ft)	NOTES
1	LANDSCAPE	19,388 SF	EXISTING

IMPERVIOUS AREA INFORMATION

SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sq ft)	EXISTING AREA (sq ft)
1	ASPHALT DRIVE	IRREGULAR	10,866 SF	625 SF
2	625 SF	SEE SITE PLAN		
3	625A COMMERCIAL	22 X 24	528 SF	
4	627 SF	SEE SITE PLAN	1,280 SF	1,100 SF
5	CONCRETE DRIVE	SEE SITE PLAN	1,458 SF	
6	CONCRETE DRIVE	IRREGULAR	1,586 SF	12,188 SF
TOTAL			1,586 SF	12,188 SF



SQUARE FOOTAGE SUMMARY TABLE

ADDRESS	EXISTING	USE	AREA	PARKING REQ.	PARKING PROVIDED
625A	EXISTING	RETAIL	528 SF	4 SPACES	4 SPACES
625	EXISTING	RESIDENTIAL	900 SF	7 SPACES	2 SPACES
627	EXISTING	RESIDENTIAL	1700 SF	3 SPACES	2 SPACES
CONCRETE DRIVE	AS-BUILT	RETAIL STORAGE	1380 SF	13 SPACES	1 SPACES
TOTAL			4408 SF	24 SPACES	9 SPACES

**COMPLIANCE**

IF THE BUILDING INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, THE OWNER SHALL PROVIDE COMPLETE CORRECTIVE ACTION. THE CORRECTIVE ACTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CORRECTIVE ACTION SHALL BE SUBJECT TO INSPECTION BY THE BUILDING DEPARTMENT. THE CORRECTIVE ACTION SHALL BE SUBJECT TO THE BUILDING DEPARTMENT REVIEW DIVISION.

UPGRADED TO CONFORM:

- ADA PARKING STALL - VAN ACCESSIBLE AND SIGNAGE
- PAVING OF TRAVEL - MIN. 48" WIDE, MAX 5% SLOPE, 2% CROSS SLOPE
- EXEMPT BECAUSE COST EXCEEDS 20% OF VALUATION
- SANITATION FACILITIES

PROJECT DATA

PROJECT ID: P052020-CLASS-PC-00062

PROJECT DESCRIPTION: As-built approval of 5 storage containers for Regan Sunglasses ONLY.

OWNER: Moonforward Investments LLC, 2517 S. Santa Fe Ave., Vista, CA 92081, 760-521-2787

SITE ADDRESS: 625-627 E. Mission St., Fallbrook, CA 92028

A.P.N.: 103-18306-00 & 103-1831-10-00

ZONE: Village Core Mix-Use - FB-V3

LOT SIZE: 33,164 SF OR 0.76 ACRES

OCCUPANCY GROUP: MR-3-S-1

TOTAL OCCUPANTS: 15

USE: RETAIL/RESIDENCE/STORAGE

TYPE OF CONSTRUCTION: TYPE VB

STORIES: 1-STORY

SPRINKLERS: NO

BUILDING HEIGHT: 18'

IMPROVEMENT AREA:

- 625A - EXISTING RETAIL M-OC- VB 528sf
- 627 - EXISTING RESIDENTIAL R-3-OC- VB 900sf
- 625 - EXISTING RESIDENTIAL R-3-OC- VB 1700sf
- AS-BUILT (5) STORAGE CONTAINERS S-1-OC- VB 1,280sf
- TOTAL: 4,408sf

PARKING: 3 SPACES

FLOOR AREA RATIO: 31,396 SF (NET AREA OF LOT) X 1.5 = 47,097 SF (ALLOWED)

4,408 SF (PROPOSED)

CODE

PROJECT WITHIN COUNTY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED COUNTY OF SAN DIEGO AMENDMENTS:

- 2018 CALIFORNIA BUILDING CODE (CBC)
- 2018 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
- 2018 CALIFORNIA ENERGY EFFICIENCY CODE (CEC)
- 2018 CALIFORNIA MECHANICAL CODE (CMC)
- 2018 CALIFORNIA PLUMBING CODE (CPC)
- 2018 CALIFORNIA FIRE CODE (CFC)
- 2018 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBEES)

REVISIONS

NO.	REVISION	DATE
1	PLAN SUBM	8-23-20
2	PLAN CHECK	2-28-24
3	PLAN CHECK	6-19-24

PROJECT INFORMATION

PROJECT NO: 8-23-20

DRAWING: SITE PLAN

SHEET NUMBER: A-1.0

NOTE: Five Apparatus Access Roads Shall be Designed and Maintained to Support the Imposed Loads of the Apparatus NOT Less than 75,000 lbs. Unless Authorized by the FAHU and Shall be Provided with an Approved Paved Surface so as to Provide All-Weather Driving Capabilities.

**AS-BUILT CONTAINER PERMIT**

**REGAN SUNGLASSES**

625-627 E. MISSION ROAD

FALLBROOK, CA. 92028

**Dimensional Images**

1618 Laurel Rd., Oceanside Ca. 92054 760-433-6548