

REQUEST FOR EXEMPTION FROM SITE PLAN PERMIT PROCESSING REQUIREMENTS FOR "B" SPECIAL AREA REGULATION

Design Review Board: Fallbrook

Date: 7-1-2014

The applicant named below has requested an exemption from the requirement to process a Site Plan Permit, which is normally required for projects subject to Community Design Review. Before the Director can make a final decision on this applicant's request, the Department must consider the recommendation of the applicable design review board. **If the Design Review Board does not issue a recommendation within 45 days of the date above, the Director may act on the applicant's exemption request without board input.**

The Design Review Board shall consider the following circumstances when making a decision on the request for a Site Plan permit exemption:

If it is determined that the nature of a proposed project is such that subjecting it to the Site Plan review process would not materially contribute to the attainment of the community design objectives and guidelines as set forth in the applicable Design Guidelines Manual or that all of the purposes and requirements of the Site Plan have been fulfilled by an existing approved discretionary permit. In making a decision on such a request for exemption from processing a Site Plan Permit, due consideration shall be given to the recommendation of the applicable Community Design Review Board. Such recommendation shall be in writing, signed by the Chairperson or other member of the Review Board who has been authorized by the Review Board to sign Site Plan Permit exemption recommendations, and shall be accompanied by a copy of the project plans (plans shall be stamped and signed by the Chairperson or other member of the Review Board) upon which the recommendation was based.

Please schedule this Site Plan Permit exemption request at your next available meeting and notify the applicant of the date, time and place of the meeting. Remind the applicant to bring both sets of the construction drawings submitted for a building permit; the plot plan page of those plans will bear red PDS stamps. Request a third set if you wish to retain a copy for your own records. Also request that the applicant bring to the meeting any other materials (site photos, landscape palette, color board, etc.) that will enable the board to give full consideration to the applicant's exemption request.

Site Plan Permit exemptions cannot be subjected to any conditions (site layout, colors, landscaping, etc.). Site Plan Permit exemptions must either be recommended per the plans as submitted, or a discretionary Site Plan must be recommended if the board determines follow-up conditions must be satisfied. The Site Plan Permit exemption will expire after 6 months if no building permit or use has been obtained within that time.

Upon consideration by the board, **apply the appropriate stamp in red on all pages of both sets of plans to recommend either approval or denial of the EXEMPTION request**; DO NOT use the stamp recommending approval or denial of a Site Plan, since the plans do not constitute a Site Plan application. Stamping the actual building plans will ensure a record of the board's action that cannot become separated or altered prior to the Director's final decision on granting the Site Plan Permit exemption request. **Only those stamped plans will be accepted; this form is for your contact information only.**

Please send your recommendation to Chloe Hird at Chloe.Hird@sdcounty.ca.gov or email her if you have any questions.

Assessor's Parcel Number(s): 103-246-53-00

Project Address: 138 S Brandon Rd Fallbrook, CA 92028

Owner's Name: Fallbrook Regional Health District

E-mail: Imanson@fallbrookhealth.org Phone: 760-731-9187

Owner's Mailing Address: 138 S Brandon Rd, Fallbrook, CA 92028

Agent's Name: Ivan Lara
(if applicable)

E-mail: ivan.lara@site109iq.com Phone: 310-987-9886

Agent's Mailing Address: 1651 Response Road Suite #3000, Sacramento, CA 95821

Brief description of the project: new car port with roof mount solar & two electric vehicle chargers

THIS SECTION TO BE COMPLETED AND SIGNED BY THE DESIGN REVIEW BOARD CHAIR

Notes: _____

NOTE TO CHAIR: If project drawings (plot plans) have been reviewed; please stamp and sign the complete set (all pages) and return to the applicant.

- ACTION:** Site Plan Permit Exemption Recommended.
 Site Plan Permit Exemption **NOT** Recommended. Site Plan should be required.

MAIL TO: Planning & Development Services
Attn: Chloe Hird
5510 Overland Ave, Suite 110
San Diego, CA 92123

Meeting Date: / / 20 Signature: _____

FALLBROOK HEALTH SOLAR: ADMINISTRATIVE OFFICE

138 S BRANDON RD, FALLBROOK, CA 92028

CALL 811 DIG ALERT PRIOR TO EXCAVATING:
COMPLIANCE WITH GOVERNMENT CODE 4216 IS TO BE FOLLOWED PRIOR TO ANY EXCAVATION TAKING PLACE

GOVERNING CODES:

- CALIFORNIA CODE OF REGULATIONS: (PART 1, TITLE 24, CCR)
- 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC): (PART 1, TITLE 24, CCR)
- 2022 CALIFORNIA BUILDING CODE (CBC): VOLUMES 1, AND 2, (PART 2, TITLE 24, CCR)
- (2021 EDITION) INTERNATIONAL BUILDING CODE WITH 2022 CALIFORNIA AMENDMENTS) (PART 3, TITLE 24, CCR)
- 2022 CALIFORNIA ELECTRICAL CODE: (PART 3, TITLE 24, CCR)
- (2020 NFPA 70)
- 2022 CALIFORNIA MECHANICAL CODE (CMC): (PART 4, TITLE 24, CCR)
- (2021 EDITION) INTERNATIONAL MECHANICAL CODE WITH 2022 CALIFORNIA AMENDMENTS) (PART 5, TITLE 24, CCR)
- 2022 CALIFORNIA PLUMBING CODE (CPC): (PART 5, TITLE 24, CCR)
- (2021 EDITION) IAPMO UNIFORM PLUMBING CODE WITH 2022 CALIFORNIA AMENDMENTS) (PART 6, TITLE 24, CCR)
- 2022 CALIFORNIA ENERGY CODE: (PART 8, TITLE 24, CCR)
- 2022 CALIFORNIA FIRE CODE (CFC): (PART 8, TITLE 24, CCR)
- (2022 EDITION) INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS) (PART 11, TITLE 24, CCR)
- 2022 CALIFORNIA GREEN CODE: (PART 11, TITLE 24, CCR)
- NFPA 13 - 2022
- 2022 CALIFORNIA REFERENCED STANDARDS CODE: (PART 12, TITLE 24, CCR)
- NFPA 72 - 2022

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS:

- 2022 CBC CHAPTER 35
- 2022 CFC CHAPTER 80
- INSPECTIONS:
- SAFETY DURING CONSTRUCTION TO COMPLY WITH 2022 CFC CHAPTER 33

NOTES:

- NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
- LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 908 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.
- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1.
- BUILDING UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 33.
- ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2.
- DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR TYPE IA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-LIMITED COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 504.3.
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
- THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.

PROJECT DIRECTORY

SYSTEM/HOST	DEVELOPER	ELECTRICAL ENGINEER
FALLBROOK ROAD	SITELOGIA	BLUMYER ENGINEERS
138 S BRANDON ROAD	1651 RESPONSE RD, SUITE 300	1101 MARIA VILLAGE PKWY, STE 100
FALLBROOK, CA 92028	SACRAMENTO, CA 95815	ALAMEDA, CA 94501
	760-731-9187	510-521-3773
	RACHEL MASON	GEOR ANDRE R BARL
	RAJASOON@FALLBROOKHEALTH.ORG	REUBEN BARL
	LESLEY.SOEGLAND@TELADO.COM	REUBEN@REUBENBARL.COM
	ARCHITECT & DRPGC	GEOTECHNICAL ENGINEER
MARKY DESIGN, INC.	STRUCTURAL ENGINEER	GEOTECHNICAL ENGINEER
4371 ELL	28030 ACERNO	2870 SAN RAMON VALLEY BLVD, SUITE 9A102
2281 MARKET, STE 5998	MISSION VIEJO, CA 92691	SAN RAMON, CA 94583
SAN FRANCISCO, CA 94114	949-303-1150	925-433-0450
AOR: STELLA ROBITALLE	PM: RODER SCHUMACHER	ERIC SWENSON
PM: KIMBERLY RICE	RSC-SCHUMACHER@TELADO.COM	ERIKSWENSON@GEOENOV.NET
KIMBERLY@MARKYDESIGN.COM		
904-945-8046		

SCOPE OF WORK

- WORK CONSISTS OF INSTALLING:
- (1) PHOTOVOLTAIC (PV) SOLAR POWER ARRAYS OVER AN EXISTING PARKING LOT
- SOLAR POWER SYSTEM CONSISTS OF EQUIPMENT, LIGHTING, PV MONITORING AND METERING COMMUNICATIONS AND POWER INTERCONNECT TO THE UTILITY GRID.
- (2) SINGLE ELECTRIC VEHICLE CHARGERS / (2) EV CHARGING STALLS
- TOTAL MODULE COUNT: 42
- KILOWATTS DC: 22.89 MW
- TOTAL ARRAYS: 1
- DEFERRED SUBMITTALS: NONE

NEW PHOTOVOLTAIC ARRAY CODE ANALYSIS: ADMINISTRATIVE OFFICE

Array Name	Array	Total Modules	KW DC	No. of Cords	Minimum Clear Height	Azimuth	Tilt	Occupancy	Coast Type	Area	Allowable Area								
A	31 x 14	42	22.89	2	10'-0"	180°	5°	9-2 NS	LB	1,183 SF									
TOTALS: 42											22.89	2							
TOTAL PROJECT AREA: 1,183 SF											UNLIMITED								
PER CBC 406.5.6 AREA AND HEIGHT INCREASES: OPEN PARKING GARAGES OR TYPE II CONSTRUCTION, WITH ALL SIDES OPEN, SHALL BE UNLIMITED IN ALLOWABLE AREA WHERE THE BUILDING HEIGHT DOES NOT EXCEED 75'.											UNLIMITED								

SITE INFORMATION:

PROJECT ADDRESS: 138 S BRANDON RD
FALLBROOK, CA 92028

APN: 103-246-5300

JURISDICTION: COUNTY OF SAN DIEGO

DRAWING INDEX

SHEET #	SHEET TITLE
A0.0	ARCHITECTURAL DRAWINGS
A0.1	TITLE SHEET
A0.2	CALIFORNIA NON-RESIDENTIAL MANDATORY MEASURES
A0.3	CALIFORNIA NON-RESIDENTIAL MANDATORY MEASURES
A0.4	BMP PLAN
A1.0	SITE PLAN & FIRE ACCESS PLAN
A1.1	COLUMB PLAN
A1.2	ENLARGED SITE PLAN AND ACCESSIBILITY SITE PLAN
A1.3	ENLARGED SITE PLAN AND ACCESSIBILITY SITE PLAN - EV

ELECTRICAL DRAWINGS

E1.0	ELECTRICAL GENERAL NOTES
E2.0	SINGLE LINE DIAGRAM
E2.1	THREE LINE DIAGRAM
E3.0	ELECTRICAL SITE PLAN
E3.1	LIGHTING SITE PLAN
E5.1	LIGHTING LINE DIAGRAM
E7.0	TITLE 24 COMPLIANCE
E7.1	ELECTRICAL DETAILS
E8.0	ELECTRICAL DETAILS
E9.1	WARNING LABELS
E10.0	EQUIPMENT SPECIFICATIONS
E10.1	EQUIPMENT SPECIFICATIONS
13 SHEETS	

STRUCTURAL DRAWINGS

S1.0	GENERAL NOTES, FRAMING PLAN & ELEVATIONS
S2.1	DETAILS
S2.2	DETAILS
3 SHEETS	
TOTAL:	28 SHEETS



138 SOUTH BRANDON ROAD
FALLBROOK, CA 92028
760-731-9187

site logia

1651 Response Road, Suite 300
Sacramento, CA 95815
916-414-1929



28030 ACERNO, SUITE 200
MISSION VIEJO, CA 92691
949-305-1150 | FAX 949-305-1420



1100 MARIA VILLAGE PKWY, SUITE 100
ALAMEDA, CA 94501
510-521-3773

ARCHITECT / ENGINEER OF RECORD

M M d o s i g n

2261 MARKET STREET, STE 5998
SAN FRANCISCO, CA 94114
813-827-7883



DATE: 08.13.24

FALLBROOK HEALTH

ADMINISTRATIVE OFFICE

138 S BRANDON RD,
FALLBROOK, CA 92028

TITLE SHEET

A0.0

BMP LEGEND

SHEET INDEX

A0.4 BMP PLAN

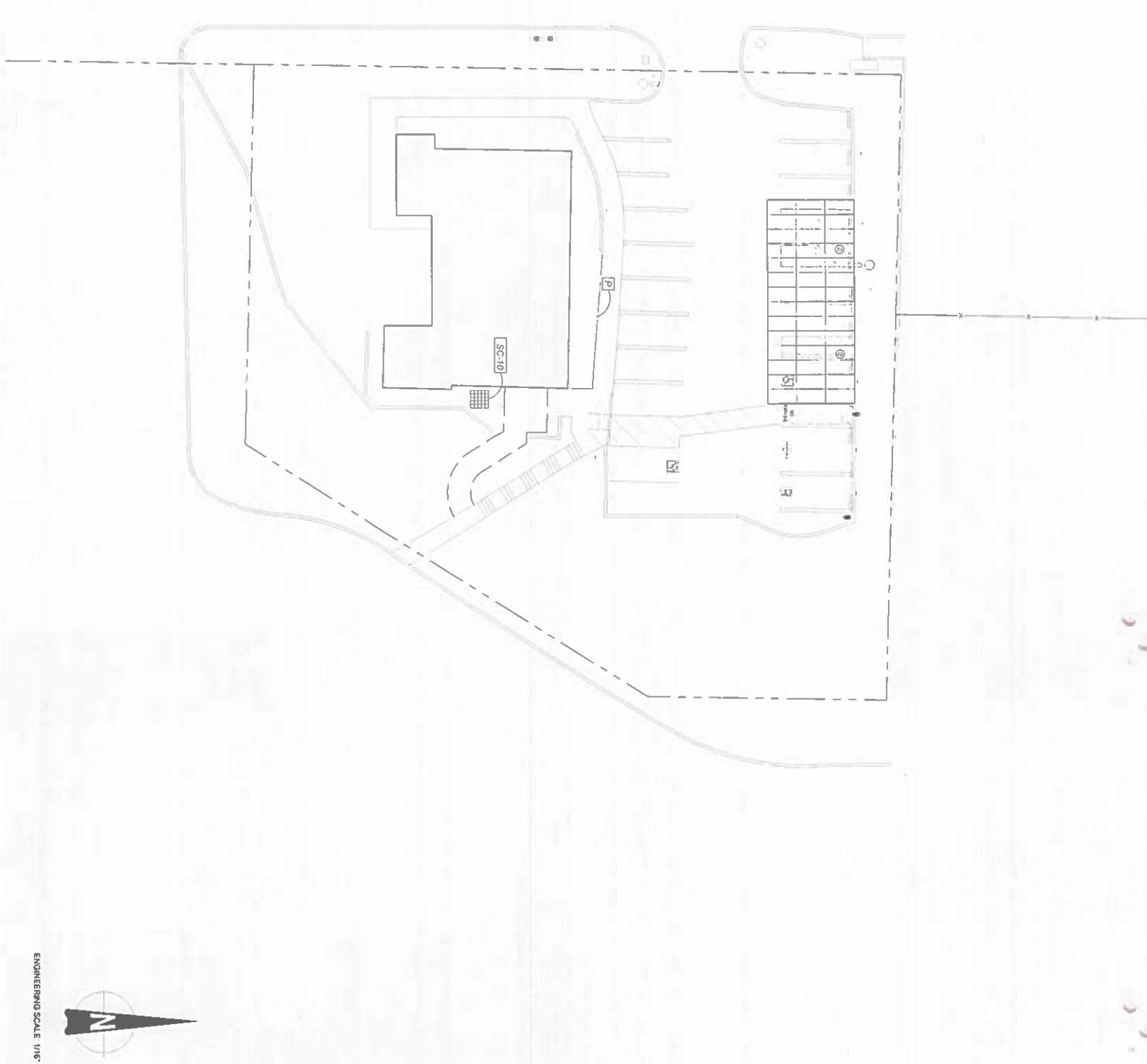
- PDS 659 BROW DITCH
- PDS 659 BERM
- DIRECTION OF LOT DRAINAGE
- MATERIALS & WASTE MANAGEMENT BMPs:
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 SPILL PREVENTION AND CONTROL
- WM-3 CONCRETE WASTE MANAGEMENT
- WM-4 SOLID WASTE MANAGEMENT
- WM-5 SANITARY WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT

- TEMPORARY RUNOFF CONTROL BMPs:
- SS-2 PRESERVATION OF EXISTING VEGETATION
- SS-3 BONDED OR STABILIZED FIBER MATRIX (WHITER)
- SS-4 HYDROSEEDING (SUMMER)
- SS-4 / SS-8 STRAW OR WOOD MULCH
- SS-7 PHYSICAL STABILIZATION (WHITER)
- SS-10 ENERGY DISSIPATOR
- SC-1 SILT FENCE
- SC-2 SEDIMENT / DESTABILIZING BASIN
- SC-3 FIBER ROLLS
- SC-6 / SC-8 GRAVEL OR SAND BAGS
- SC-7 STREET SWEEPING AND VACUUMING
- SC-10 STORM DRAIN WILET PROTECTION
- NS-2 DEWATERING FILTRATION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE
- TC-2 CONSTRUCTION ROAD STABILIZATION
- TC-3 ENTRANCE / EXIT TIRE WASH

- POST-CONSTRUCTION SITE DESIGN BMPs:
- 4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
- 4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
- 4.3.3 MINIMIZE IMPERVIOUS AREA
- 4.3.4 MINIMIZE SOIL COMPACTION
- 4.3.5 IMPERVIOUS AREA DISPERSION
- 4.3.6 RUNOFF COLLECTION
- 4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES
- 4.3.8 HARVESTING AND USING PRECIPITATION
- 4.3.8 POST CONSTRUCTION SOURCE CONTROL BMPs
- 4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE USA
- 4.2.2 STORM DRAIN STEAKLING AND POSTING OF SIGNS
- 4.2.3 PROTECTED OUTDOOR MATERIALS STORAGE AREAS
- 4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS
- 4.2.5 PROTECT TRASH STORAGE AREAS
- 4.2.6 ADDNL. BMP BASED ON POTENTIAL RUNOFF POLLUTANTS:

- A ON-SITE STORM DRAIN INLETS
- B INTERIOR FLOOR DRAINS & ELEVATOR SHAFT SURFS
- C INTERIOR PARKING GARAGES
- D NEED FOR FUTURE INDOOR & STR. PEST CONTROL
- E LANDSCAPE/OUTDOOR PESTICIDE USE
- F POOLS, SPAS, FOUNTAINS, & WATER FEATURES
- G FOOD SERVICE
- H TRASH OR REFUSE AREAS
- I INDUSTRIAL PROCESSES
- J OUTDOOR STORAGE OF EQUIP. OR MATERIALS
- K VEHICLE AND EQUIPMENT CLEANING
- L VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE
- M FUEL DISPENSING AREAS
- N LOADING DOCKS
- O FUEL SPRINKLER TEST WATER
- P MISCELLANEOUS DRAIN OR WASH WATER
- Q PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS

RESERVED FOR COUNTY STAMPS



VICINITY MAP



OWNER INFORMATION

NAME FALLBROOK ADMIN OFFICE
 ADDRESS 138 S BRANDON RD
 CITY FALLBROOK
 STATE CA
 ZIP 92028
 PHONE 760-731-9187
 FAX
 EMAIL RMASON@FALLBROOKHEALTH.ORG

CONTACT INFORMATION

NAME LESLEY SOEKLAND
 ADDRESS 1851 RESPONSE RD, SUITE 300
 CITY SACRAMENTO
 STATE CA
 ZIP 95815
 PHONE 916-914-1929
 FAX
 EMAIL LESLEY.SOEKLAND@SITELOGIQ.COM

PARCEL INFORMATION

APN 103-246-5300
 SITE ADDRESS: 138 S BRANDON RD,
 FALLBROOK, CA 92028

PROJECT SCOPE

EXISTING: THE EXISTING FACILITY IS A COMMERCIAL BUILDING WITH EXISTING PARKING LOT.
 PROPOSED: THE PROPOSED SCOPE IS TO ADD (1) SOLAR CANOPY AND 2 SINGLE EVCS CHARGERS

PLOT PLAN INFORMATION

PLEASE SEE "MINIMUM PLOT PLAN INFORMATION" (FORM PDS 4090) FOR COMPLETE REQUIREMENTS.
 ALL ITEMS LISTED ON THE "MINIMUM PLOT PLAN INFORMATION" MUST BE INCLUDED ON THE PLOT PLAN. IF NOT SHOWN, YOUR PLANS WILL BE REJECTED.
 PLOT PLANS MUST BE CLEAR AND LEGIBLE.
 INDICATE ALL PRECINCT LINES.
 INDICATE FOOTPRINT OF ALL EXISTING / PROPOSED STRUCTURES.
 INDICATE REQUIRED BOUNDING SETBACKS.
 INDICATE PREVIOUSLY PARKING MATERIAL, AND SLOPE OF DRIVEWAY.
 INDICATE ALL EASEMENTS, ROADS, STREETS, AND ALLEYS.

SHEET TITLE

BMP PLAN

SHEET NUMBER

A0.4

NEW PHOTOVOLTAIC ARRAY CODE ANALYSIS: ADMINISTRATIVE OFFICE

SYSTEM DESCRIPTION: Module Type CS6W-545MB-AQ (2266mm x 1134mm x 35mm) 32.2 kg

Array Name	Array	Total Modules	kw DC	No. of Cols	Minimum Clear Height	Asstn Ht	Tilt	Occupancy Type	Const Type	Area	Allowable Area
A	1	42	22.89	2	10'-0"	140'	5°	8-2 NS	6.8	1,183 SF	UNLIMITED
TOTALS: 42 22.89 2 10'-0" 140' 5° 8-2 NS 6.8 1,183 SF											

PER CBC 406.5 AREA AND HEIGHT INCREASES: OPEN PARKING GARAGES OF TYPE II CONSTRUCTION, WITH ALL SIDES OPEN, SHALL BE UNLIMITED IN ALLOWABLE AREA WHERE THE BUILDING HEIGHT DOES NOT EXCEED 75'.

SHEET NOTES
 1. SEE SHEET A1.0 FOR ARRAY DIMENSIONS
 2. SEE SHEET A1.1 FOR ACCESSIBILITY PLAN SHOWING NEW AND EXISTING ACCESSIBLE CONDITIONS
 3. SEE ELECTRICAL SITE PLAN FOR POC INFORMATION AND LOCATION
 4. ARROWS ON PLAN POINT TO LOW SIDE OF CANOPY

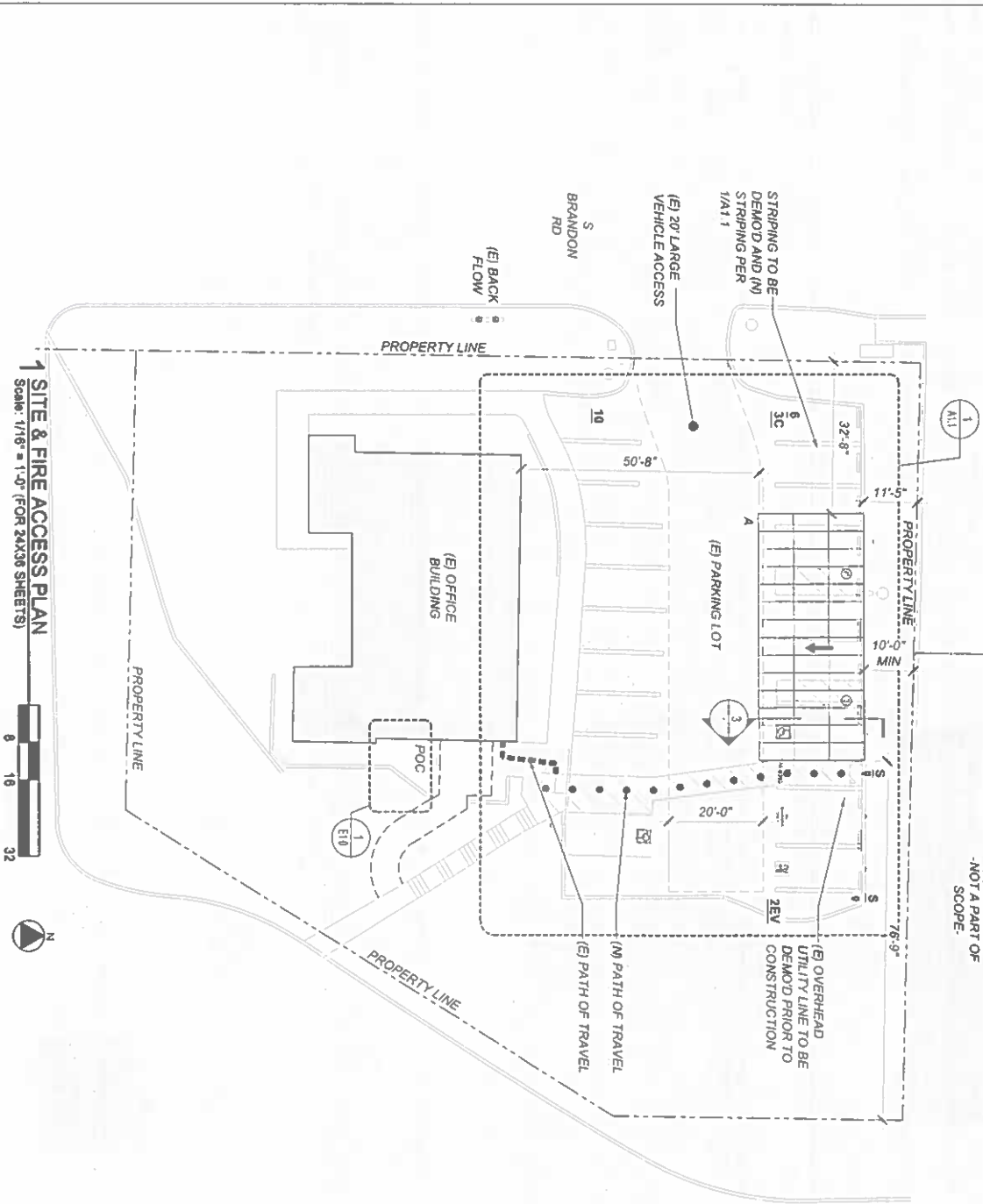
EVCS ANALYSIS			
EVCS M LOT PROVIDED	VAN ACC EVCS REQD	VAN ACC PROVIDED	
2	1	1	

- EV NOTES:**
 1. EV STALLS ARE CALCULATED INDEPENDENTLY OF STANDARD NON-EV STALLS
 2. EV VAN STALL ACCESSIBLE TO DRIVERS SIDE PER CBC 11B-012.7.1 EXCEPTION (EXCEPTION: WHERE FOUR OR FEWER TOTAL EVCS ARE PROVIDED WITHIN A FACILITY, THE ACCESSIBLE SPACES MAY BE LOCATED ON EITHER THE ACCESSIBLE SPACES MAY BE LOCATED ON EITHER THE DRIVER OR PASSENGER SIDE OF THE VEHICLE SPACE.)

PARKING ANALYSIS: ADMINISTRATIVE OFFICE							
LOT	TOTAL STALLS	REQD ACCESSIBLE STALLS	PROVIDED ACCESSIBLE STALLS	COV. TO UNCOVERED	RAVD. UNCOVERED	REQD COVERED ACCESSIBLE STALLS	PROVIDED COVERED ACCESSIBLE STALLS
1	18	1	2	19%	1%	1	1

1 VAN STALL REQUIRED, 2 VAN STALLS PROVIDED

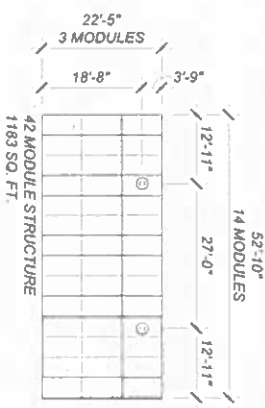
- LEGEND:**
 # = NUMBER OF PARKING STALLS PER ROW
 AC = NUMBER OF COVERED PARKING STALLS PER ROW
 S = SINGLE EV CHARGER
 ZE = EV STALLS BY ROW



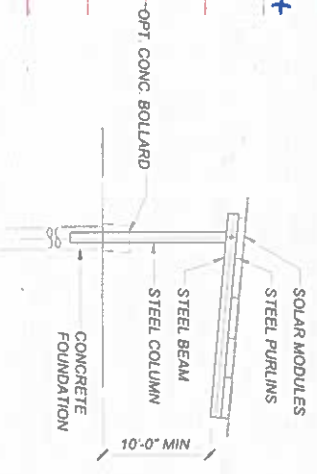
**COUNTY OF SAN DIEGO
 PLANNING AND DEVELOPMENT SERVICES**

Address: _____
 APN#: 163-246-53-00
 Use: 2 Car Pk w/ Roof Mount Solar & EV Charger
 Discretionary Permit # _____
 Counter Tech _____
 Planner: _____

2 ARRAY LAYOUT
 Scale: 1/16" = 1'-0" (FOR 24X36 SHEETS)



3 ARRAY SECTION
 Scale: 1/8" = 1'-0" (FOR 24X36 SHEETS)



138 SOUTH BRANDON ROAD
 FALLBROOK, CA 92028
 760.731.9187



1881 Resopon Road, Suite 300
 San Diego, CA 92115
 619.481.1828



26030 ACERO, SUITE 200
 MISSION VIEJO, CA 92691
 949.305.1150 | FAX 949.305.1420



1100 MARINA VILLAGE PKWY SUITE 100
 ALHAMBRA, CA 91801
 510.821.3173

ARCHITECT OF RECORD
 M M d e s i g n

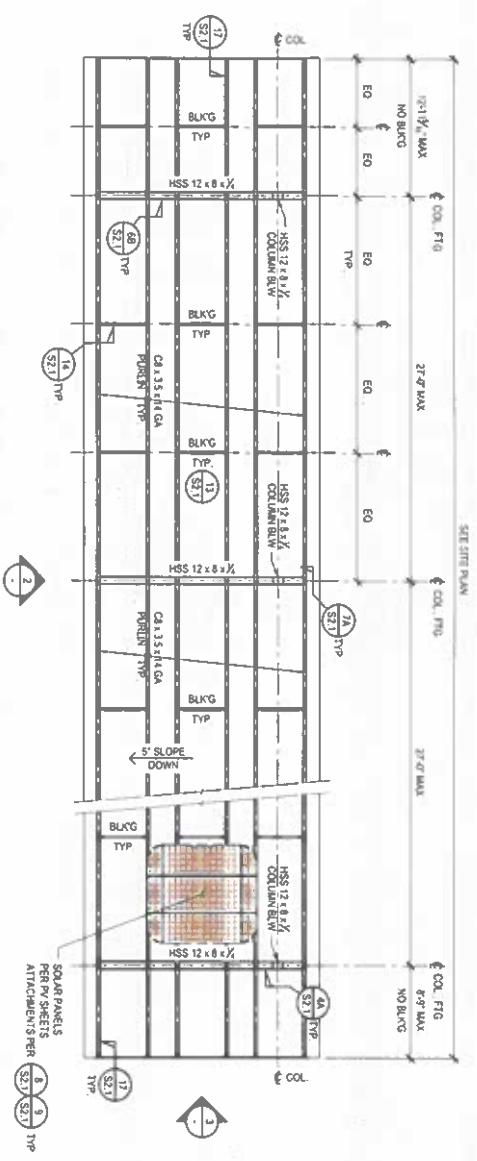
2881 MARKET STREET, SUITE 5988
 SAN FRANCISCO, CA 94114
 817.927.2800



PROJECT: **FALLBROOK HEALTH ADMINISTRATIVE OFFICE**
 138 S BRANDON RD,
 FALLBROOK, CA 92028

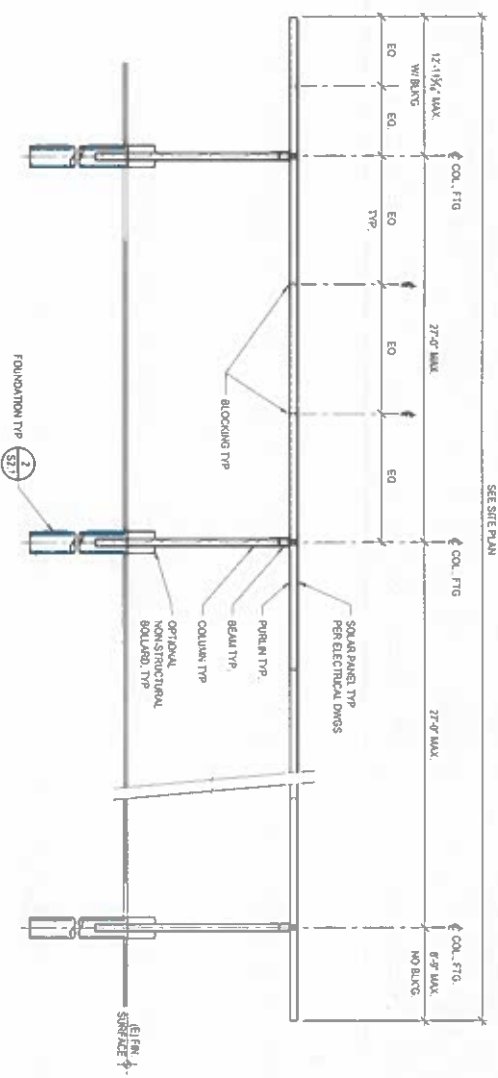
SHEET TITLE: **SITE & FIRE ACCESS PLAN**

SHEET NO: **A1.0**

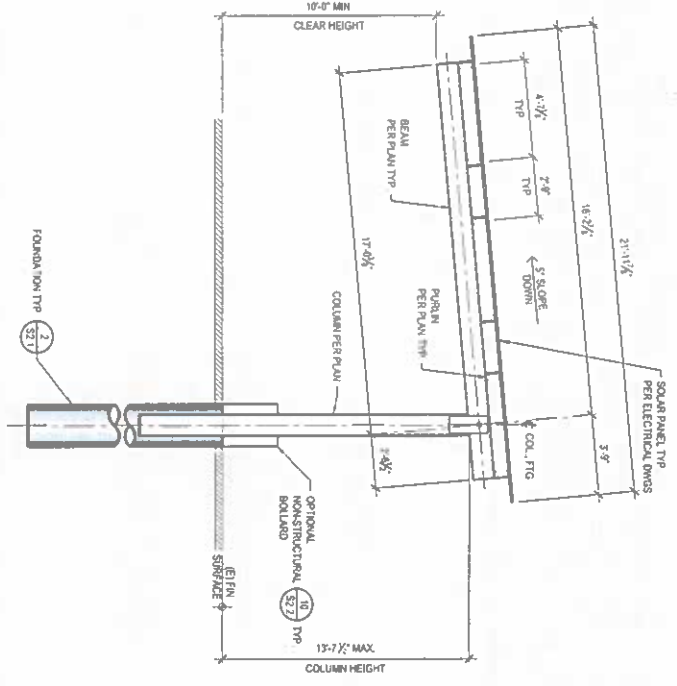


1 PANEL ARRAY - OT STRUCTURE
FRAMING PLAN
1/4" = 1'-0"

NOTE: ALL DIMENSIONS PROVIDED AS FLAT DIMENSIONS



2 3 PANEL ARRAY - OT STRUCTURE
SIDE ELEVATION
1/8" = 1'-0"



3 3 PANEL ARRAY - OT STRUCTURE
END ELEVATION
1/4" = 1'-0"

GENERAL NOTES

- DESIGN PER 2022 C & C, ASCE 7-16 AND 1010-16.4 AND 11A.13
- THESE STRUCTURES ARE NOT DESIGNED FOR WIND SHALL THERE BE ENCLOSED
- ALL PERMIT DIMENSIONS SHALL BE FIELD DIMENSIONS BY CONSTRUCTOR FROM TO FABRICATION
- SOIL PERMIT FOR ELECTRICAL REFERRED BY OTHERS. COORDINATE AND ANY MATERIAL USED TO ANCHOR SOLAR PANELS TO THE STRUCTURE MUST HAVE A TOTAL WEIGHT OF LESS THAN OR EQUAL TO 217 LBS
- NO SPARKERS
- THESE PLANS ARE PROPRIETARY TO M&B CONSTRUCTION INC. AND INTENDED FOR THE SOLE USE OF M&B CONSTRUCTION INC. ANY ALL ELECTRICAL WORK AND MATERIAL MAY BE SUPPLIED AND INSTALLED BY OTHERS
- SEE ELECTRICAL SHEETS FOR COLUMN GROUNDING DETAILS
- DESIGN LOADS

ROOF LIVE LOAD (L1)	10 psf
GROUND SNOW LOAD (S)	0 psf
SEISMIC	
SEISMIC IMPORTANCE FACTOR	1.000
LAYERED SPECTRAL RESPONSE	S=1.047
SITE CLASS	S=0.332
SPECTRAL RESPONSE	S=0.332
Coefficients	S=0.332
SEISMIC DESIGN CATEGORY	D
SEISMIC FORCE RESISTING SYSTEM	STEEL MOMENT RESISTING JOINT FRAME
SEISMIC RESPONSE MODIFICATION FACTOR	R=1.0
SEISMIC RESPONSE COEFFICIENT	C=0.075
ANALYSIS PROCEDURE	FOUNDATION LATERAL FORCE
- BASIC WIND SPEED 90 mph
- WIND EXPOSURE C
- Kz=0.85
- Kz=1.00
- Kz=1.100
- Me=0.975

FOUNDATION NOTES

- STEEL WAS DESIGNED TO THE STRUCTURE AND THE SOLAR PANEL TO THE STRUCTURE CONNECTION IN ACCORDANCE WITH 2022 SSC CODE REQUIREMENTS. STEEL IS NOT RESPONSIBLE FOR THE DESIGN OR PERFORMANCE OF THIRD PARTY PRODUCTS.
- SOLAR PANEL LAYOUT IS BASED ON CALIFORNIA SOLAR BUILDING FACILITY WIND PERIC CS9W-530-539-538-535-540-545-550M&C OVERALL SIZE 81.025' x 40.8175' x 11.8175' (WIND 70.8'@)

CONCRETE NOTES

- CONCRETE MIN 4000 PSI 28 DAYS TYPE II CEMENT
- CONCRETE WORK SHALL COMPLY WITH ACI 308.1 & 318 LATEST EDITION
- AGGREGATE GRANULATION AND QUALITY SHALL BE IN ACCORDANCE WITH ACI 308.4R
- CONCRETE TO ATTAIN 100 PSI COMPRESSIVE STRENGTH OR MORE FOR 48 HOURS BEFORE TO INSTALLATION OF BEAMS AND PURLINS
- CONCRETE TO BE 5000 PSI COMPRESSIVE STRENGTH BEFORE INSTALLING SOLAR PANELS
- HIGHER STRENGTH CONCRETE USED TO ACCELERATE ATTAINMENT OF COMPRESSIVE STRENGTH PER ITEMS #1 & 5 SHALL BE SUBMITTED FOR APPROVED USE
- CONCRETE MAY BE REPAIRED, POURED, TAMPED OR OTHER SUCH METHODS INTO PLACE CONCRETE SHALL BE ALLOWED TO FREE FALL THE ENTIRE DEPTH OF THE FOUNDATION PLACEMENT OF ANY FREE-FALL CONCRETE SHALL BE SUCH THAT THE CONCRETE DOES NOT ALTER THE EMBEDMENT DEPTH OR THE CLEARANCE OF THE REINFORCING BAR CASE OR OTHER EMBEDMENT MATERIALS
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615 GRADE 60 (Fy=60,000 PSI) (IN 1)
- ANCHORAGE OF SPIRAL REINFORCEMENT SHALL BE PROVIDED BY 1/2" EXTRA TURNS OF SPIRAL BAR AT EACH END OF SPIRAL

STRUCTURE AND COORDINATE STEEL NOTES

- NOT ROLLED STEEL THINGS SHALL CONFORM TO ASTM A 992
- ROLLED STEEL MEMBERS SHALL CONFORM TO ASTM A 588 SS GRADE 58
- FASTENERS SHALL BE GALVANEED UNO
- STEEL FABRICATION SHALL COMPLY WITH LATEST AISC SPECIFICATIONS
- WELDING SHALL COMPLY WITH LATEST AISC SPECIFICATIONS
- BOLTS ASTM A 325 (V) UNO
- ZINC COATING OF STRUCTURAL STEEL SHALL CONFORM WITH 98% STANDBOARD OR BETTER
- COORDINATE STEEL TO BE INSTALLED TO BEELER WITH STEEL MEMBERS AND STEEL PLATES SHALL BE CALIBRATED IN ACCORDANCE WITH ASTM A 121 UNLESS NOTED OTHERWISE
- STEEL MEMBERS SHALL BE GALVANEED OR PAINTED WITH ZINC-RICH PRIMER UNDERCOAT AND FINISH COAT OR EQUIVALENT PAINT SYSTEM CONTRACT DOCUMENTS SHALL SPECIFY THE TYPE OF SSPC CORROSION RESISTING SYSTEM TO BE UTILIZED AND THE SSPC GRADE FOR CLEANING. MINIMUM SSPC GRADE SP2.
- PLATES TO BE ASTM A 572 (80) A572-80 OR A572-80 UNO

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REVISIONS	
NO.	DESCRIPTION

4 STEEL JOB #	24-1077
DATE	06/24/2024
DRAWN BY	ETG
CHECKED	KMA

GENERAL NOTES, FRAMING PLAN & ELEVATIONS

S1.0

